

MARINACE ARCHITECTS

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March 8, 2024

Proposed New Merrimack SAU Office

Assumptions

8,760 s.f. New SAU Building with 2,000 s.f. basement
Old Red Building Site
Assumes Bidding August 2024

Conceptual Cost Estimate

General Building Construction & Sitework (per Hutter budget of 1/9/24)		\$4,000,000
Administrative costs		\$495,000
Engineers (structural, mechanical, electrical), Architect	\$325,000	
Civil Engineer (by owner)	\$40,000	
Materials Testing & Special Inspections	\$40,000	
Builder's Risk Insurance	\$35,000	
Survey & Geotech Engineering	\$20,000	
Utility Company Backcharges	\$15,000	
Window Blinds & Signage	\$20,000	
Contingency		<u>\$300,000</u>
	Project Total:	\$4,795,000

Items Funded Outside of Project:

Legal & Bonding Costs (if any)	\$5,000
Commissioning Mechanical / Electrical Systems (if desired)	\$15,000
Building Technology	TBD

Matt Shevenell
Merrimack School District SAU Office
36 McElwain Street
Merrimack, NH 03054

March 12, 2024

Re: Budget Proposal for Merrimack School District SAU Office

Matt:

Hutter Construction is pleased to submit our budget for design/build construction of the new Merrimack School District SAU Office.

Our estimated value for this project is \$3,997,804 (Three million, nine hundred and ninety-seven thousand, eight hundred and four).

Please review the schedule of values and scope of work listed below.

We thank you for partnering with Hutter Construction and we look forward to working together to bring this project to fruition. Feel free to reach out with any questions you might have.

Sincerely,



Nels Traffie
Vice President

Merrimack School District SAU Office Schedule of Values

Description	Cost
General Conditions	\$458,352
Earthwork	\$605,895
Concrete	\$221,700
Masonry	\$30,000
Steel	\$55,000
Rough Carpentry	\$451,200
Finish Carpentry	\$42,170
Thermal & Moisture	\$311,150
Openings	\$252,000
Finishes	\$402,700
Specialties	\$11,400
Equipment	\$3,000
Furnishings	\$17,570
Elevator	\$140,000
Fire Suppression	\$46,750
Plumbing/HVAC	\$450,000
Electrical	\$220,000
Subtotal	\$3,718,887
Fee	\$185,944
Contingency	\$92,972
Total	\$3,997,804

SCOPE OF WORK

GENERAL CONDITIONS

General insurance, full-time supervision (12 months), project manager (1/3rd time), temporary facilities and utilities, construction fencing, mobilization, lull, dumpster, construction layout, material testing and final cleaning.

EARTHWORK

Excavation and backfill for all foundations, slabs, electrical underground, water lines, sewer lines, granite curb, plantings. Demolition and removal of existing structures.

CAST-IN-PLACE CONCRETE

Cast-in-place concrete shall include furnishing, placing and finishing of all foundations, footings, walls, slabs along with all specified concrete reinforcement.

MASONRY

Furnish and install stone on two columns at entry, CMU elevator shaft.

STEEL

Two columns at front entry, misc steel for elevator, basement stairs and decorative aluminum tube trusses for five gable ends.

ROUGH CARPENTRY

Complete wood framing package with in wall blocking for millwork and specialties.

FINISH CARPENTRY MILLWORK/CABINETRY

Interior trim includes oak casing and sills for windows, vanities in bathrooms, casework for reception area and breakroom w/countertops.

THERMAL AND MOISTURE

Rigid insulation at foundation walls and under slabs, fiber cement siding over one inch rigid insulation at all exterior walls, R50 cellulose insulation in attic with cellulose blown in for the wall cavities, complete asphalt shingle roof system, spray applied waterproofing for elevator pit and basement foundation walls.

DOORS AND WINDOWS

Aluminum operating windows with storefront at all exterior entry doors, standard hollow metal frame interiors with wood doors.

FINISHES

Acoustical ceilings throughout entirety of the building, finished 5/8" gypsum wall assemblies with one coat of primer and two coats of paint and a flooring allowance of \$10 per SF.

SPECIALTIES

Door signage, fire extinguishers w/cabinets and toilet accessories.

EQUIPMENT

Microwave and refrigerator in the breakroom.

FURNISHINGS

Blinds for all windows and an entrance mat for the vestibule.

ELEVATOR

Carried one hydraulic elevator.

PLUMBING/HVAC

Daikin VRF w/primarily ceiling cassette style indoor units, fresh air ducted directly to the head units. Elevator vent and electric vestibule heaters for entryways.

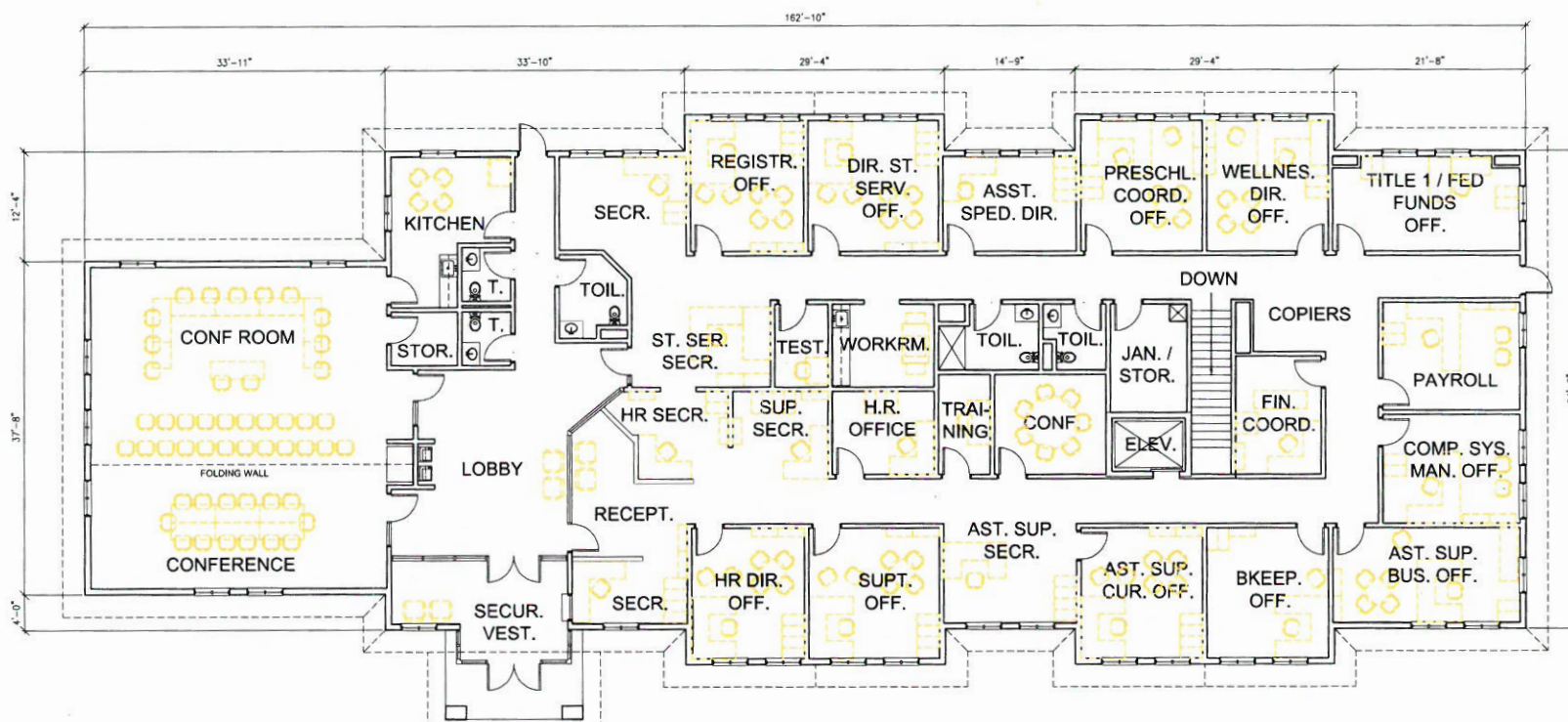
Complete plumbing scope, elevator sump, HW heater, six bathrooms and a kitchen.

ELECTRICAL

Complete code compliant electrical system, site conduits, services and permitting.

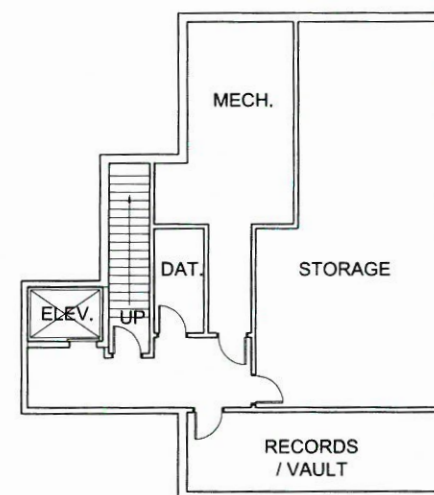
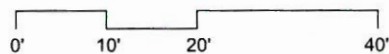
EXCLUSIONS

1. Excludes cost of a Building Permit.
2. Excludes cost of all Architectural, Engineering and Consultants fees.
3. Excludes cost of Testing & Inspections of in-place construction along with cost of Special Inspections.
4. Excludes cost of performance and payment bond
5. Building Visual Display Boards
6. Hazardous Material Removal



1 First Floor Plan
NTS

MAIN LEVEL AREA = 8,760 S.F.



2 Basement Plan
NTS



MARINACE ARCHITECTS

Box 429 New Hampton, New Hampshire 03256
www.marinacearchitects.com

date: 3-12-24
scale: 1/8" = 1'
project #: 2310

Proposed Merrimack SAU Office

Floor Plans
Merrimack, NH

A1.1